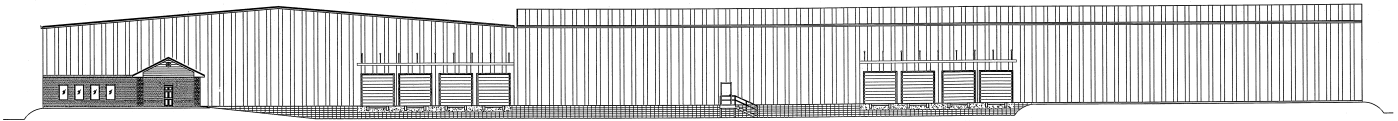


# MOORE PROPERTIES WAREHOUSE

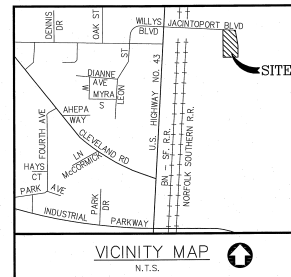
SARALAND, AL  
MAY 2008



ELEVATION IS CONCEPTUAL  
DO NOT SCALE

## DRAWING INDEX

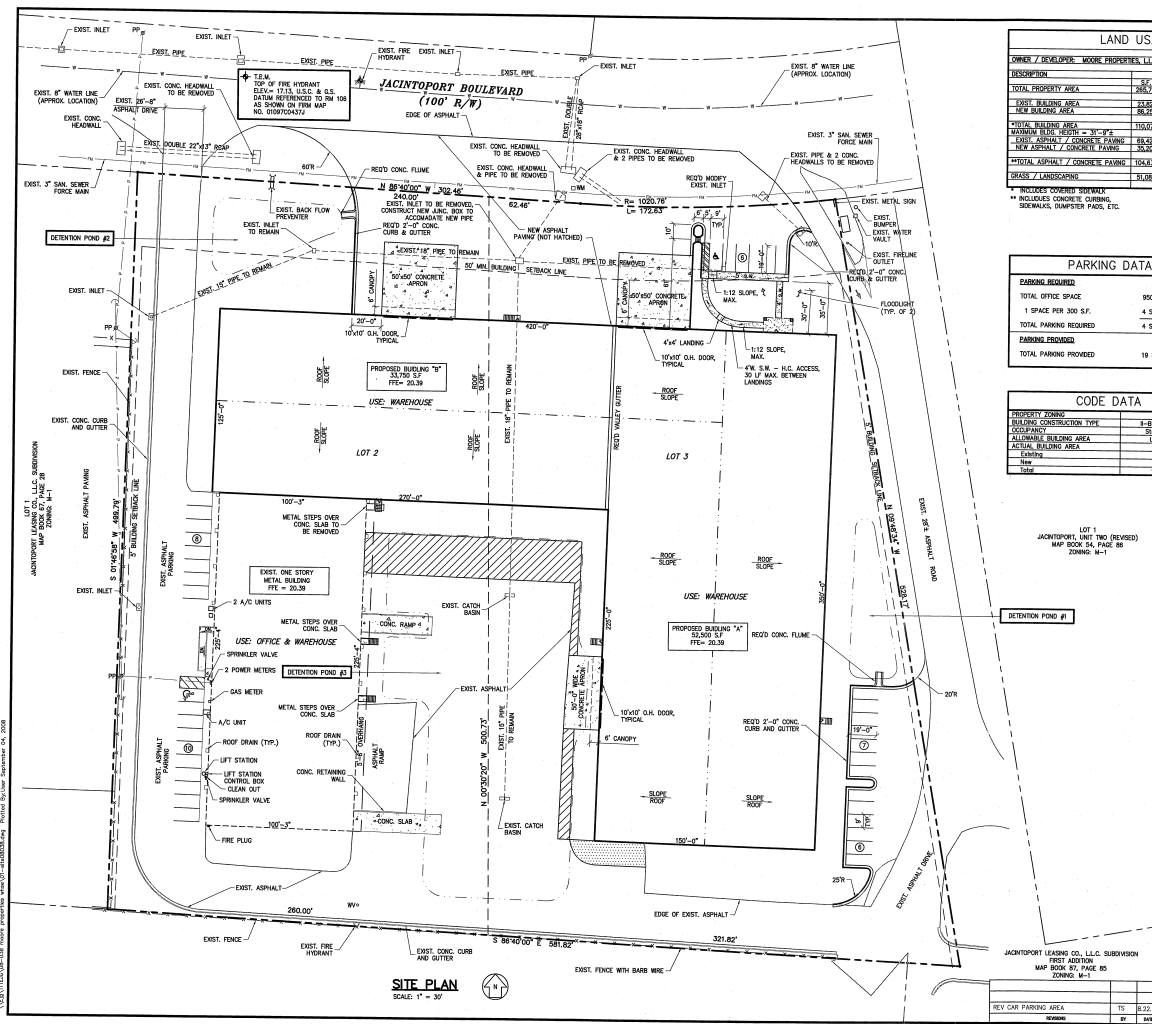
- 1 SITE PLAN
- 2 SITE UTILITY PLAN
- 3 GRADING AND DRAINAGE PLAN
- 4 DRAINAGE CALCULATIONS
- 5 EROSION CONTROL PLAN
- 6 SITE DETAILS
- 7 FLOOR PLAN
- 7A ENLARGED FLOOR PLANS
- 7B FINISH SCHEDULE & DETAILS
- 8 EXTERIOR ELEVATIONS
- 9 WALL SECTIONS
- 10 WALL SECTIONS
- 11 FOUNDATION PLAN
- 12 FOUNDATION SECTIONS
- 13 EXHAUST FAN PLAN
- 14 HVAC PLAN
- 15 PLUMBING PLAN
- 16 PLUMBING PLAN
- 17 LIGHTING PLAN
- 18 POWER PLAN
- 19 LARGE SCALE ELECTRICAL PLAN
- 20 LEGEND, NOTES AND RISERS



PREPARED BY  
FRANK A. DAGLEY & ASSOCIATES, INC.  
CONSULTING ENGINEERS

717 EXECUTIVE PARK DRIVE, SUITE A, MOBILE, ALABAMA 36606  
P.O. BOX 16461 - MOBILE, ALABAMA 36616  
(251) 476-0303  
FAX (251) 478-9886

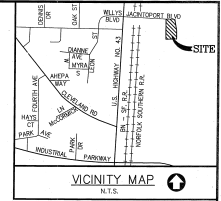
248 JACINTOPORT Complete Set



LAND USAGE		
DESCRIPTION	AREA	% OF PROPERTY AREA
TOTAL PROPERTY AREA	240,700	100%
EXIST. WAREHOUSE AREA	22,828	9.48%
NEW BUILDING AREA	84,200	34.98%
EXIST. ASPHALT / CONCRETE PAVING	24,438	10.15%
NEW ASPHALT / CONCRETE PAVING	32,800	13.63%
TOTAL ASPHALT / CONCRETE PAVING	57,238	23.83%
EXIST. / PROPOSED TREES	31,083	12.91%

PARKING DATA	
PARKING REQUIRED	950 SPACES
TOTAL OFFICE SPACE	950 S.F.
1 SPACE PER 300 S.F.	4 SPACES
TOTAL PARKING REQUIRED	4 SPACES
PARKING PROVIDED	19 SPACES
TOTAL PARKING PROVIDED	19 SPACES

CODE DATA	
PROPERTY ZONING	M-1
MINIMUM CONSTRUCTION TYPE	1-B, 1-C, 1-D, 1-E, 1-F, 1-G, 1-H, 1-I, 1-J, 1-K, 1-L, 1-M, 1-N, 1-O, 1-P, 1-Q, 1-R, 1-S, 1-T, 1-U, 1-V, 1-W, 1-X, 1-Y, 1-Z
ALLOWABLE BUILDING AREA	100,000
EXISTING	22,828
NEW	84,200
TOTAL	107,028



**LEGAL DESCRIPTION:**  
 LOTS 2 & 3, JACINTOPORT LEASING CO., L.L.C. SUBDIVISION, RESUBDIVISION OF LOT 2 AS SHOWN IN MAP BOOK 84, PAGE 117 IN THE OFFICE OF JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

**FEMA FLOOD NOTE:**  
 I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP AND HAVE DETERMINED THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD ZONE 1 - UNDESIGNED ACCORDING TO COMMUNITY OVERSIGHT PANEL DATED: JAN. 08, 1998  
 SEPARATION BETWEEN FLOOD ZONES WAS DETERMINED BY ELEVATIONS FROM FLOOD INSURANCE RATE MAP.

**UTILITY NOTE:**  
 SITE CONTRACTOR SHALL CONTACT ALABAMA 1 CALL AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO EXCAVATION. ALL UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH OWNER AND RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCEMENT OF SITE WORK.

**ADEM NOTE:**  
 AN ADEM NOTICE OF REGISTRATION APPLICATION HAS BEEN SUBMITTED.

**TRAFFIC CONTROL NOTE:**  
 CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. CURRENT EDITION PART VI, REV. 13, SECTION 6F, DURING ANY CONSTRUCTION WITHIN RIGHT OF WAY ADJACENT TO ROADWAY.

**PROPERTY ZONING:**  
 THIS SITE IS IN THE CITY LIMITS OF SARASOTA AND IS ZONED M-1, LIGHT INDUSTRIAL.

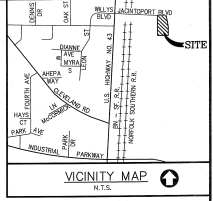
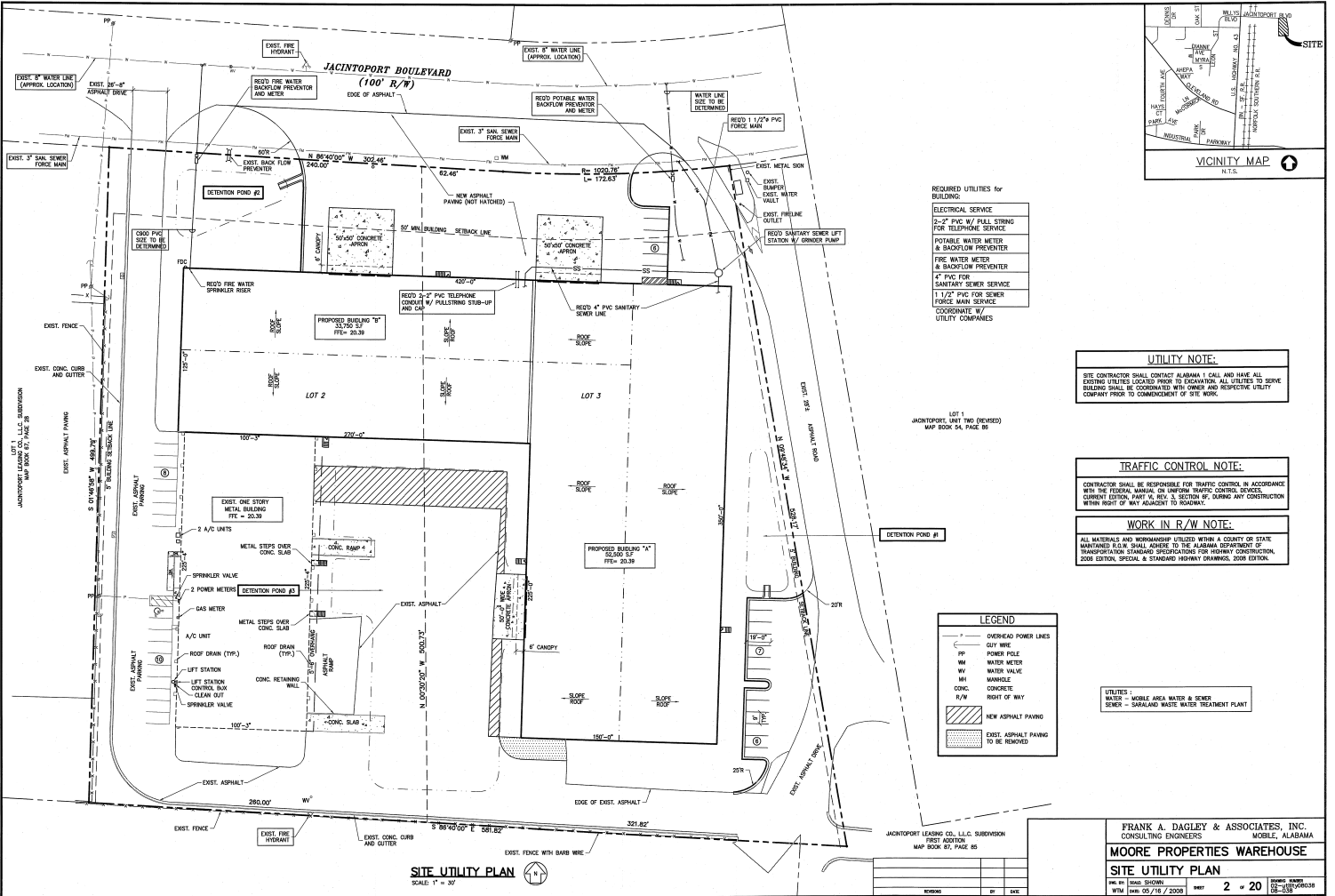
LEGEND	
—	OVERHEAD POWER LINES
—	CITY WIRE
PP	POWER POLE
WM	WATER METER
WV	WATER VALVE
WH	WATER HEAD
CONC.	CONCRETE
R/W	RIGHT OF WAY
▨	NEW ASPHALT PAVING
▨	EXIST. ASPHALT PAVING TO BE REMOVED

FRANK A. DAGLEY & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**  
**SITE PLAN**

DATE: 05/18/2003  
 SHEET: 1 OF 20  
 DRAWN: [Name]  
 CHECKED: [Name]

VIEW: 10/10/2003 10:58 AM PROJECT: MOORE PROPERTIES WAREHOUSE PLAN: MOORE PROPERTIES WAREHOUSE SITE PLAN: 05/18/2003



**REQUIRED UTILITIES for BUILDING:**

- ELECTRICAL SERVICE
- 2"-2" PVC W/ FULL STRING FOR TELEPHONE SERVICE
- POTABLE WATER METER & BACKFLOW PREVENTER
- FIRE WATER METERS & BACKFLOW PREVENTER
- 4" PVC FOR SANITARY SEWER SERVICE
- 1 1/2" PVC FOR SEWER FORCE MAIN SERVICE

COORDINATE BY UTILITY COMPANIES

**UTILITY NOTE:**

SITE CONTRACTOR SHALL CONTACT ALABAMA 1 CALL AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO EXCAVATION. ALL UTILITIES TO SERVE BUILDING SHALL BE COORDINATED WITH OWNERS AND RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCEMENT OF SITE WORK.

**TRAFFIC CONTROL NOTE:**

CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, PART 9, SECTION 9.4, DURING ANY CONSTRUCTION WITHIN RIGHT OF WAY ADJACENT TO ROADWAY.

**WORK IN R/W NOTE:**

ALL MATERIALS AND WORKMANSHIP UTILIZED WITHIN A COUNTY OF STATE MAINTAINED R.O.W. SHALL ADHERE TO THE ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2008 EDITION, SPECIAL & STANDARD HIGHWAY DRAWINGS, 2008 EDITION.

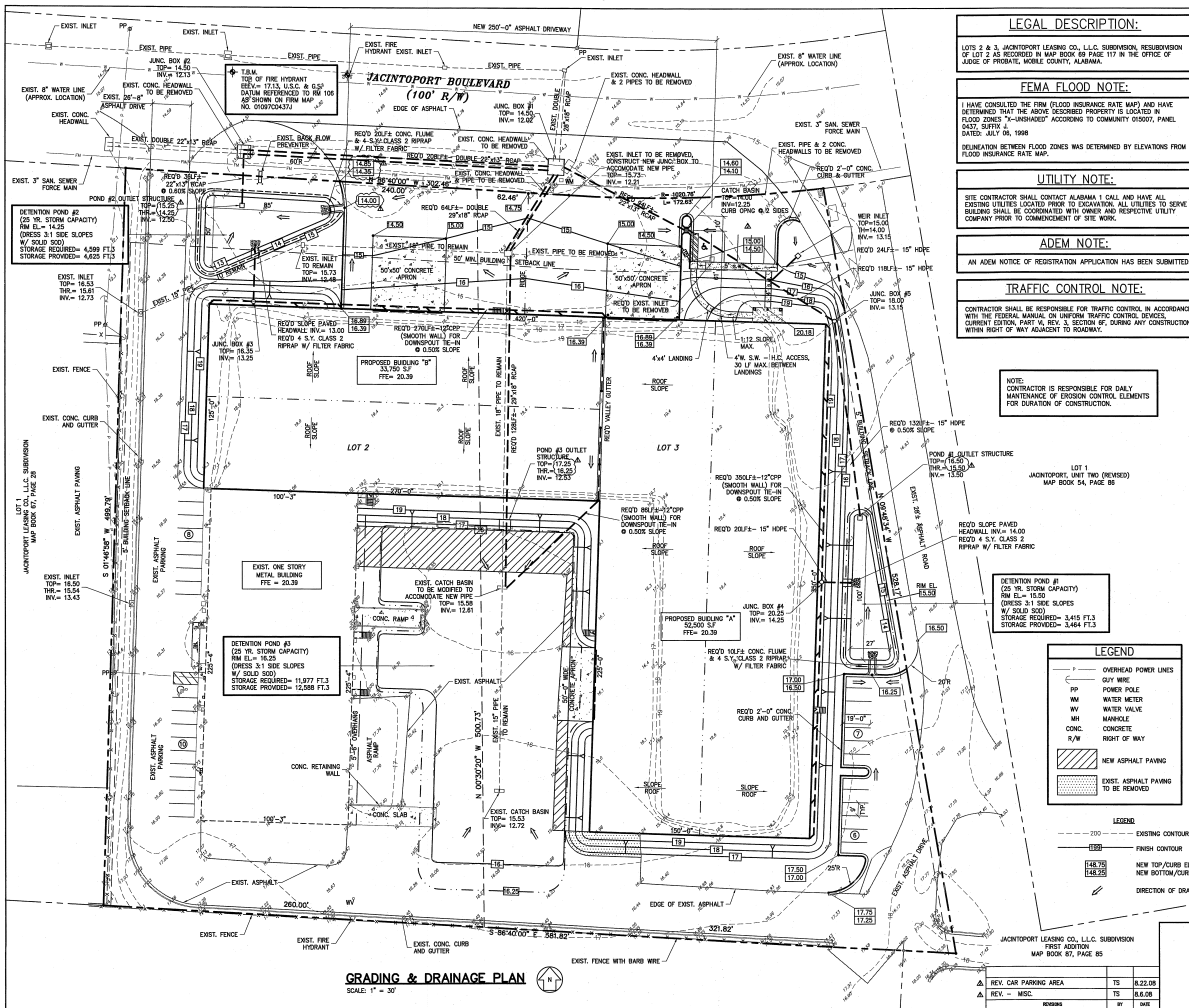
**LEGEND**

—	OVERHEAD POWER LINES
—	UTILITY WIRE
PP	POWER POLE
WM	WATER METER
WV	WATER VALVE
HW	HANDLE
CONC.	CONCRETE
R/W	RIGHT OF WAY
—	NEW ASPHALT PAVING
—	EXIST. ASPHALT PAVING TO BE REMOVED

**UTILITIES:**  
 WATER - MOBILE AREA WATER & SEWER  
 SEWER - SARASLAND WASTE WATER TREATMENT PLANT

**SITE UTILITY PLAN**  
 SCALE: 1" = 30'

FRANK A. DAGLEY & ASSOCIATES, INC.  
 CONSULTING ENGINEERS MOBILE, ALABAMA  
**MOORE PROPERTIES WAREHOUSE**  
**SITE UTILITY PLAN**  
 DATE: 05/20/2008  
 DRAWING NO: 2 OF 20  
 SHEET NO: 20



**LEGAL DESCRIPTION:**

LOTS 2 & 3, JACINTOPORT LEASING CO., L.L.C. SUBDIVISION, RESUBDIVISION OF LOT 2 AS RECORDED IN MAP BOOK 68, PAGE 117 IN THE OFFICE OF JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

**FEMA FLOOD NOTE:**

I HAVE CONSULTED THE FIRM FLOOD INSURANCE RATE MAP AND HAVE DETERMINED THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD ZONES "X-UNSHADED" ACCORDING TO COMMUNITY OVERSIGHT PANEL. DATE: 04/11/08

**UTILITY NOTE:**

THE CONTRACTOR SHALL CONTACT ALABAMA 811 AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO DCAVATION. ALL UTILITIES TO BE SERVED SHALL BE COORDINATED WITH OWNERS AND RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCEMENT OF THE WORK.

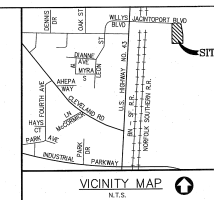
**ADWEN NOTE:**

AN ADWEN NOTICE OF REGISTRATION APPLICATION HAS BEEN SUBMITTED.

**TRAFFIC CONTROL NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION, PART 6, 20.3.2 SECTION 6F, DURING ANY CONSTRUCTION WITHIN RIGHT OF WAY ADJACENT TO ROADWAY.

NOTE: CONTRACTOR IS RESPONSIBLE FOR DAILY MAINTENANCE OF EROSION CONTROL ELEMENTS FOR DURATION OF CONSTRUCTION.



**SITE NOTES:**

- CONTRACTOR SHALL USE ADEQUATE EROSION CONTROL PROCEDURES DURING THE CONSTRUCTION PERIOD IN ORDER TO PREVENT SEDIMENT FROM BEING WASHED FROM THE SITE DURING HEAVY RAINS.
- CONTRACTOR SHALL INSTALL A 4' X 1/2" METAL BARRIER AROUND ALL EXCAVATIONS WHERE CROSSING IS A POTENTIAL PROBLEM DURING CONSTRUCTION. BAY BARRIERS SHALL BE SECURELY TIED, ANCHORED TO THE EARTH WITH A MINIMUM SPACING OF 3' BARS AND SECURELY ANCHORED IN PLACE WITH STAPLES OR REBAR. SELF-REPAIRING SHALL BE INSTALLED AS SHOWN AND IN OTHER PROBLEM AREAS AS REQUIRED.
- ALL SITE WORK & MATERIALS SHALL BE IN ACCORDANCE WITH TEMPORAL REPORT PREPARED BY ENVIRONMENTAL ENGINEERING SERVICES DATED MARCH 14, 2008. PARCEL SECTION SHALL BE BASED ON HEAVY DUTY PROFILE.
- SOIL BENEATH BUILDING SHALL BE PROPERLY TREATED FOR TERMITES.
- ALL AREAS WHERE EROSION HAS OCCURRED SHALL BE PROPERLY REPAIRED.
- SIDE SLOPES OF DITCHES, PARKING LOT & ENTIRE DETENTION AREA, ETC. SHALL BE COVERED WITH A MINIMUM OF 2" TOP SOIL AND SOILS GOODER TOP SOIL MAY BE ON-SITE MATERIAL, WHICH HAS BEEN PROPERLY STOCK PILED OR OFF-SITE MATERIAL SHALL BE SUPPLIED IF NECESSARY.
- ALL AREAS WITHIN EXIST. BLOCK THAT ARE DISTURBED SHALL BE SHAVED AND GRESSED WITH SOLID SOIL.
- ALL CONSTRUCTION PERMITS SHALL BE OBTAINED BY THE APPLICANT/OWNER.
- NO WORK SHALL BE DONE IN THE A.D.O.T. RIGHT OF WAY WITHOUT OBTAINING PROPER PERMITS.

**DRAINAGE DETENTION MAINTENANCE NOTE:**

- MAINTENANCE OF THE DRAINAGE DETENTION FACILITIES SHALL CONSIST OF THE FOLLOWING:
- PERIODIC INSPECTION OF ALL CATCH BASINS, JUNCTION BOXES, ETC. TO INSURE THAT THEY ARE FREE OF DEBRIS, SEDIMENT, ETC.
  - PERIODIC INSPECTION OF GRASS PLANTS OR PIPES TO INSURE IT IS FUNCTIONING PROPERLY.
  - REGULAR MAINTENANCE OF GRASS IN POND AREA AND ON BARRIERS. REPAIR ANY WEARS IN DETENTION DITCHES OR BARRIERS.
  - CONTINUOUS MAINTENANCE OF THE SITE TO INSURE THAT NO UNKNOWN OCCURS THAT COULD ALLOW SEDIMENT TO ENTER INTO THE DRAINAGE SYSTEM.

**DRAINAGE DETENTION MAINTENANCE NOTE:**

DRAINAGE DETENTION AREA FOR THIS SITE TO BE PROPERLY MAINTAINED BY THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION. MAINTENANCE REQUIRED SHALL INCLUDE REMOVAL OF ALL DEBRIS AND SEDIMENT FROM ALL DRAINAGE STRUCTURES AND PERIODIC INSPECTIONS TO INSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.

**EROSION CONTROL NOTE:**

CONTRACTOR SHALL ADHERE TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT FOR CONSTRUCTION SITES AND URBAN AREAS BY THE ALABAMA SOIL & WATER CONSERVATION COMMISSION, COMPLETES, VOLUMES 1 & 2, 2003 EDITION, RECOMMEND LAUNCH STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.

**LEGEND**

- OVERHEAD POWER LINES
- GUY WIRE
- POWER POLE
- WATER METER
- WATER VALVE
- MANHOLE
- CONC. CONCRETE
- RIGHT OF WAY
- NEW ASPHALT PAVING
- EXIST. ASPHALT PAVING TO BE REMOVED

**LEGEND**

- 100' - EXISTING CONTOUR
- FINISH CONTOUR
- NEW TOP/CURB EL.
- NEW BOTTOM/CURB EL.
- DIRECTION OF DRAINAGE

FRANK A. DAGLEY & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**

**GRADING AND DRAINAGE PLAN**

REV. DATE: 08/08/08  
BY: SWE  
DATE: 08/08/08

SCALE: 1" = 30'

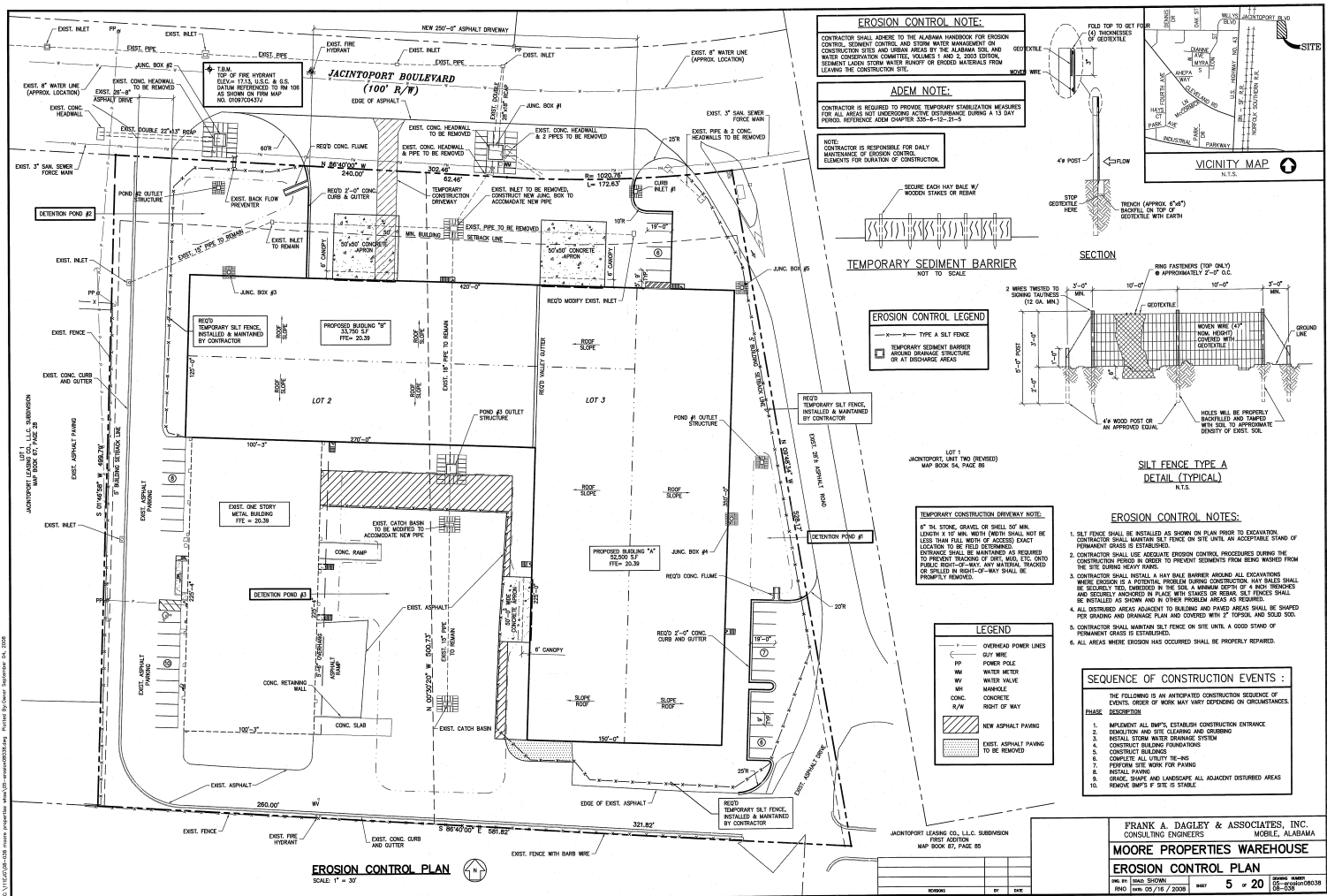
PROJECT: Moore Properties Warehouse			
08-036			
<b>AREA #1 25 YEAR STORM WATER DETENTION</b>			
TIME OF CONC. IN MINS.	5		
TOTAL AREA IN ACRES	0.75		
DEVELOPED AREA IN ACRES	0.75		
PRE-DEVELOPED RUN-OFF COEFFICIENT	0.25		
POST-DEVELOPED RUN-OFF COEFFICIENT	0.80		
MAXIMUM STORAGE: _____			
RETENTION BASIN	35.00		
INTENSITY (IN./HR.)	4.04		
STORM RUN-OFF RATE (CFS)	3.37		
DISCHARGE COEFFICIENT	PLATE ORIFICE 0.60		
STORM RUN-OFF VOLUME (FT <sup>3</sup> )	6561		
RELEASE FLOW VOLUME (FT <sup>3</sup> )	3445		
STORAGE REQUIRED (FT <sup>3</sup> )	3115		
STORAGE PROVIDED (FT <sup>3</sup> )	3468		
PLATE ORIFICE DIAMETER	6.73		
DELTA H (FT.)	1.71		
ACTUAL RELEASE RATE (IN ORIFICE DIA. SPROGERS) (10 YEAR)	1.64		
<b>AREA #1 25-10 YEAR STORM RUNOFF CALCULATION IN CFS</b>			
<b>PRE-DEVELOPED</b>			
C	I	A	Q
0.25	8.25	8.75	+ 1.81 CFS
0.25	10.00	8.75	+ 1.87 CFS
0.25	10.25	8.75	+ 1.91 CFS
<b>POST-DEVELOPED</b>			
C	I	A	Q
0.80	8.25	8.75	+ 8.93 CFS
0.80	10.00	8.75	+ 7.98 CFS
0.80	10.25	8.75	+ 7.98 CFS
Q25 Runoff	= 4.88 CFS		
<b>10 YEAR OVERFLOW CALCULATION</b>			
C	I	A	Q
0.80	10.25	8.75	+ 7.98 CFS
0.80	10.00	8.75	+ 7.98 CFS
0.80	10.25	8.75	+ 7.98 CFS
TOTAL	= 8.88 CFS @ OVERFLOW		

PROJECT: Moore Properties Warehouse			
08-036			
<b>AREA #2 25 YEAR STORM WATER DETENTION</b>			
TIME OF CONC. IN MINS.	5		
TOTAL AREA IN ACRES	1.01		
DEVELOPED AREA IN ACRES	1.01		
PRE-DEVELOPED RUN-OFF COEFFICIENT	0.25		
POST-DEVELOPED RUN-OFF COEFFICIENT	0.80		
MAXIMUM STORAGE: _____			
RETENTION BASIN	35.00		
INTENSITY (IN./HR.)	4.04		
STORM RUN-OFF RATE (CFS)	4.40		
DISCHARGE COEFFICIENT	PLATE ORIFICE 0.60		
STORM RUN-OFF VOLUME (FT <sup>3</sup> )	9039		
RELEASE FLOW VOLUME (FT <sup>3</sup> )	4640		
STORAGE REQUIRED (FT <sup>3</sup> )	4399		
STORAGE PROVIDED (FT <sup>3</sup> )	4774		
PLATE ORIFICE DIAMETER	8.25		
DELTA H (FT.)	2.57		
ACTUAL RELEASE RATE (IN ORIFICE DIA. SPROGERS) (10 YEAR)	2.12		
<b>AREA #2 25-10 YEAR STORM RUNOFF CALCULATION IN CFS</b>			
<b>PRE-DEVELOPED</b>			
C	I	A	Q
0.25	8.25	8.75	+ 2.00 CFS
0.25	10.00	8.75	+ 2.10 CFS
0.25	10.25	8.75	+ 2.15 CFS
<b>POST-DEVELOPED</b>			
C	I	A	Q
0.80	8.25	8.75	+ 8.75 CFS
0.80	10.00	8.75	+ 8.84 CFS
0.80	10.25	8.75	+ 8.84 CFS
Q25 Runoff	= 6.92 CFS		
<b>10 YEAR OVERFLOW CALCULATION</b>			
C	I	A	Q
0.80	10.25	8.75	+ 8.84 CFS
0.80	10.00	8.75	+ 8.84 CFS
0.80	10.25	8.75	+ 8.84 CFS
TOTAL	= 7.81 CFS @ OVERFLOW		

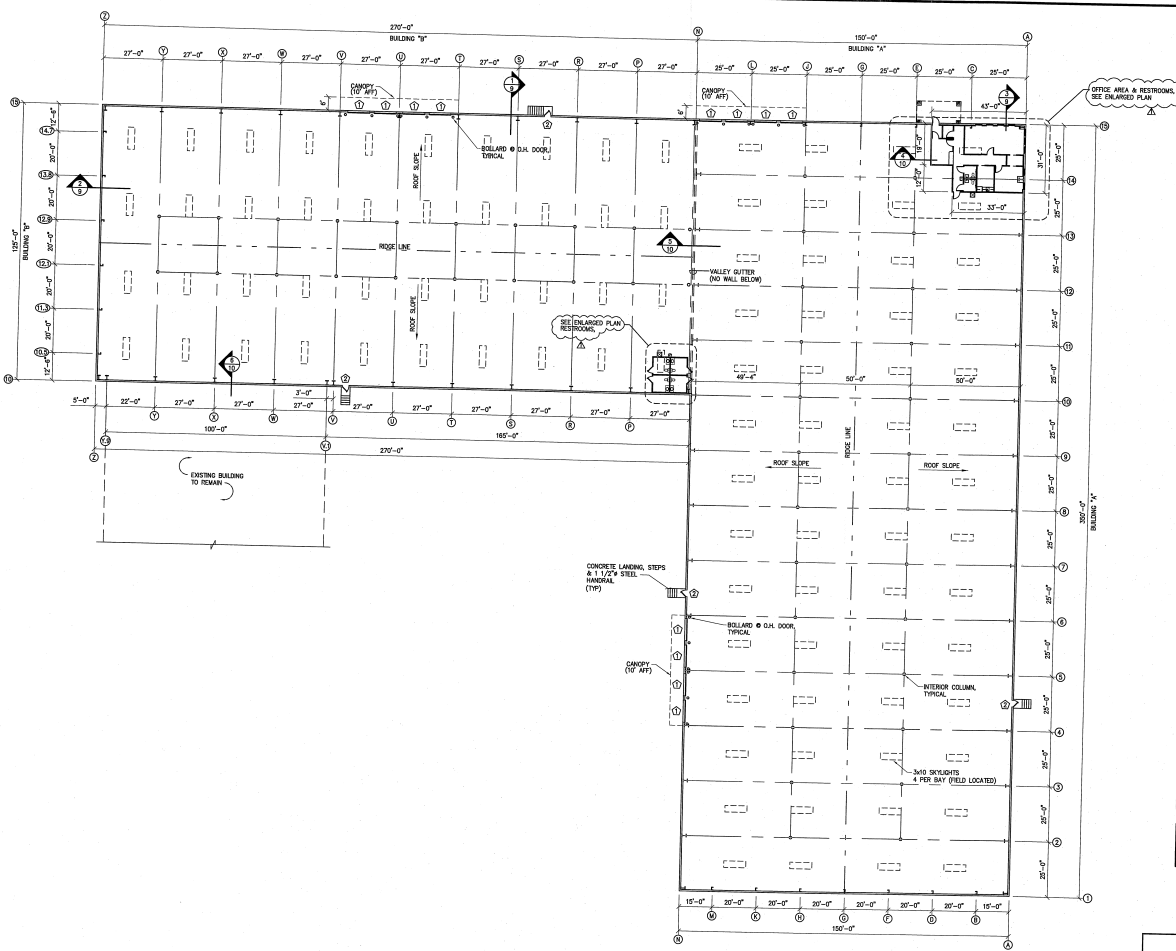
PROJECT: Moore Properties Warehouse			
08-036			
<b>AREA #3 25 YEAR STORM WATER DETENTION</b>			
TIME OF CONC. IN MINS.	5		
TOTAL AREA IN ACRES	2.63		
DEVELOPED AREA IN ACRES	2.63		
PRE-DEVELOPED RUN-OFF COEFFICIENT	0.25		
POST-DEVELOPED RUN-OFF COEFFICIENT	0.80		
MAXIMUM STORAGE: _____			
RETENTION BASIN	35.00		
INTENSITY (IN./HR.)	4.04		
STORM RUN-OFF RATE (CFS)	11.46		
DISCHARGE COEFFICIENT	PLATE ORIFICE 0.60		
STORM RUN-OFF VOLUME (FT <sup>3</sup> )	24058		
RELEASE FLOW VOLUME (FT <sup>3</sup> )	12095		
STORAGE REQUIRED (FT <sup>3</sup> )	11977		
STORAGE PROVIDED (FT <sup>3</sup> )	12568		
PLATE ORIFICE DIAMETER	11.02		
DELTA H (FT.)	3.36		
ACTUAL RELEASE RATE (IN ORIFICE DIA. SPROGERS) (10 YEAR)	5.76		
<b>AREA #3 25-10 YEAR STORM RUNOFF CALCULATION IN CFS</b>			
<b>PRE-DEVELOPED</b>			
C	I	A	Q
0.25	8.25	8.75	+ 3.01 CFS
0.25	10.00	8.75	+ 3.10 CFS
0.25	10.25	8.75	+ 3.15 CFS
<b>POST-DEVELOPED</b>			
C	I	A	Q
0.80	8.25	8.75	+ 12.00 CFS
0.80	10.00	8.75	+ 12.00 CFS
0.80	10.25	8.75	+ 12.00 CFS
Q25 Runoff	= 16.16 CFS		
<b>10 YEAR OVERFLOW CALCULATION</b>			
C	I	A	Q
0.80	10.25	8.75	+ 12.00 CFS
0.80	10.00	8.75	+ 12.00 CFS
0.80	10.25	8.75	+ 12.00 CFS
TOTAL	= 18.88 CFS @ OVERFLOW		

REVISION	BY	DATE

FRANK A. DAGLEY & ASSOCIATES, INC.	
CONSULTING ENGINEERS	
MOBILE, ALABAMA	
<b>MOORE PROPERTIES WAREHOUSE</b>	
<b>DRAINAGE CALCULATIONS</b>	
DATE: 05/18/2008	SHEET: 4 OF 20
PROJECT: MOORE PROPERTIES WAREHOUSE	DRAWING NO: 08-036-000







**FIRE PROTECTION NOTE:**  
 ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA-13. SEE PLAN FOR DESIGNATED TYPE OF SYSTEM.

**FIRE EXTINGUISHER NOTE:**  
 FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2003 INTERNATIONAL FIRE CODE, SECTION 906.

**FLOOR PLAN**  
 SCALE: 1" = 20'

REV.	PER OWNER	DATE
1	ISSUED	12/15/06

FRANK A. DAGLEY & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 MOBILE, ALABAMA

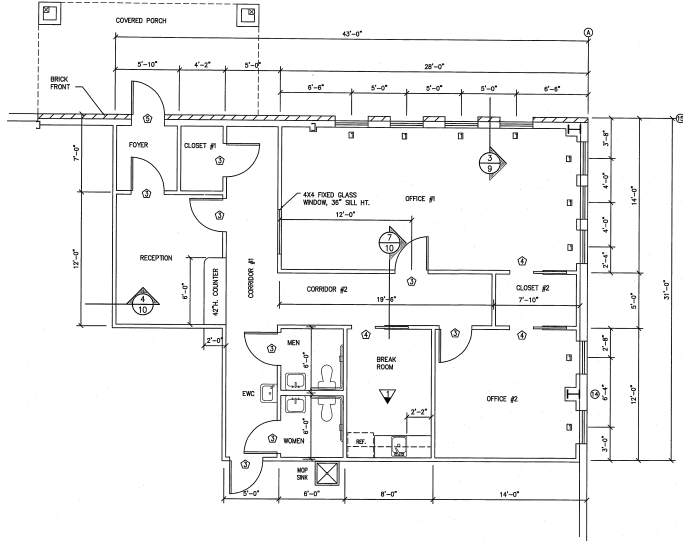
**MOORE PROPERTIES WAREHOUSE**

**FLOOR PLAN**

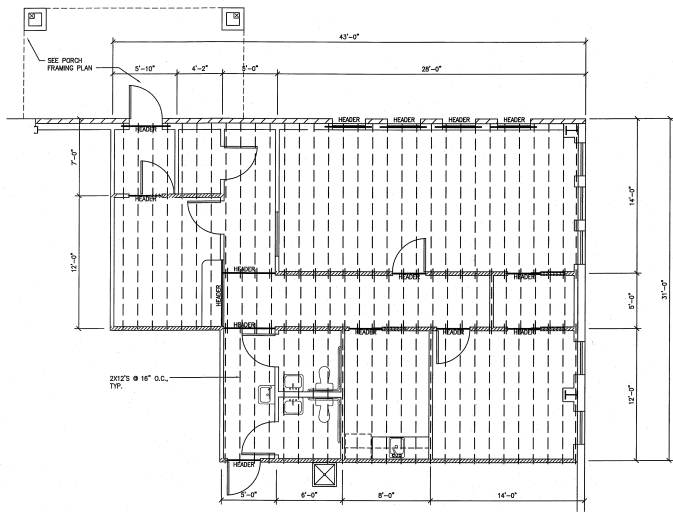
DATE SHOWN: 12/15/06  
 DATE: 12/15/06

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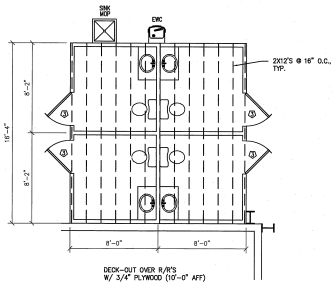
**ENLARGED OFFICE PLAN**  
SCALE: 1/4" = 1'-0"



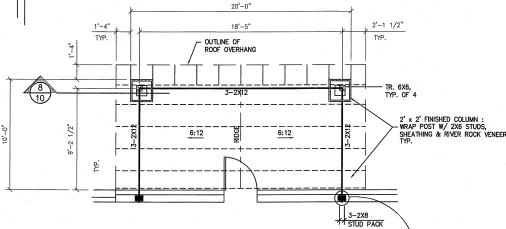
**FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**WOOD FRAMING NOTES**

1. LUMBER FOR BUILDING FRAMING SHALL BE NO 2 OR BETTER SOUTHERN YELLOW PINE.
2. LUMBER FOR SILL PLATES OR NAILERS USED IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
3. SILL PLATES & NAILERS FOR EXTERIOR WALLS SHALL BE FASTENED TO CONCRETE WITH 2-1/2" DRIVE PIN ANCHORS ON 16" CENTERS.
4. SILL PLATES & NAILERS FOR INTERIOR WALLS SHALL BE FASTENED TO CONCRETE WITH 2-1/2" DRIVE PIN ANCHORS ON 32" CENTERS.
5. SINGLE & DOUBLE DOORS, & OPENINGS IN ALL WALLS SHALL HAVE HEADERS CONSISTING OF (2) 2x10'S PLACED DIRECTLY ABOVE THE OPENINGS.
6. UNLESS OTHERWISE NOTED, STUDS SHALL BE SPACED AT 16" ON CENTER, DOUBLED AT ALL CORNERS & DOUBLED AT ALL OPENINGS GREATER THAN 3'-0" WIDE.
7. UPSTAIRS FLOORS SHALL BE TONGUE & GROOVE "STURD-I-FLOOR" PLYWOOD CARRYING A SPAN RATING OF 20 O/C OR BETTER.
8. JOISTS SHALL BE PLACED CROWN SIDE UP, MEMBERS SHALL NOT BE CUT, NOTCHED OR BORED MORE THAN 1/4 OF THEIR DEPTH WITHOUT REINFORCING. BLOCKING SHALL BE PROVIDED AS NECESSARY FOR THE APPLICATION OF BUILDING ITEMS & TO PROVIDE FIRE STOPPING. SOLID BLOCKING OR DIAGONAL BRIDGING SHALL BE PLACED AT MIDSPAN BETWEEN JOISTS WHERE SPANS EXCEED 8'-0" & AT 3RD POINTS WHERE SPANS EXCEED 16'-0".
9. MEZZANINE SHALL BE POSTED "MAX ALLOWABLE LOAD IS 100 PSF"



**ENLARGED WAREHOUSE RESTROOM PLAN**  
SCALE: 1/4" = 1'-0"



**PORCH FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**FIRE EXTINGUISHER NOTE:**  
FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2003 INTERNATIONAL FIRE CODE, SECTION 906.

NO.	DATE	BY	CHKD.

**FRANK A. DAGLEY & ASSOCIATES, INC.**  
CONSULTING ENGINEERS MOBILE, ALABAMA

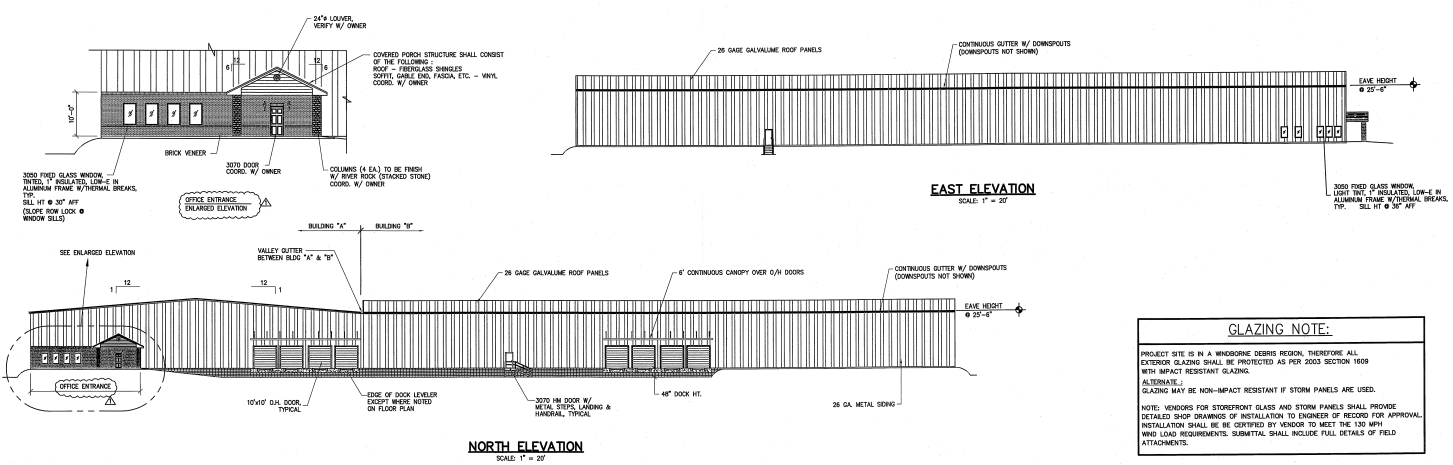
**MOORE PROPERTIES WAREHOUSE**

**ENLARGED FLOOR PLANS**

DATE: 7/20/08  
SCALE: 1/4" = 1'-0"

7A of 20





**GLAZING NOTE:**

PROJECT SITE IS IN A WINDBORNE DEBRIS REGION, THEREFORE ALL EXTERIOR GLAZING SHALL BE PROTECTED AS PER 2000 SECTION 1609 WITH IMPACT RESISTANT GLAZING.

ALTERNATE: GLAZING MAY BE NON-IMPACT RESISTANT IF STORM PANELS ARE USED.

NOTE: VENDORS FOR STOREFRONT GLASS AND STORM PANELS SHALL PROVIDE DETAILED SHOP DRAWINGS OF INSTALLATION TO ENGINEER OF RECORD FOR APPROVAL. INSTALLATION SHALL BE CERTIFIED BY VENDOR TO MEET THE 130 MPH WIND LOAD REQUIREMENTS. SUBMITTAL SHALL INCLUDE FULL DETAILS OF FIELD ATTACHMENTS.

**PRE-ENGINEERED METAL BUILDING NOTES**

1. BUILDING DIMENSIONS SHALL BE AS SHOWN ON THE DRAWINGS AND SHALL BE DECREASED AS FOLLOWS AND IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE. BUILDING IS TO BE CONSIDERED AN ENCLOSED STRUCTURE WITH AN INTERNAL PRESSURE COEFFICIENT OF +0.18.
  - (A) DEAN LOAD OF STRUCTURE
  - (B) WIND LOAD - 120 MPH (2 SECOND DUST AS PER TABLE 1609.3.3)
  - (C) ROOF LIVE LOAD - 20 PSF
  - (D) COLLAPSE LOAD - 3 PSF
 THE FOLLOWING LOAD COMBINATIONS WILL BE CONSIDERED BY DESIGN: (1) DL + LL + C (2) DL + WL + C
2. MAJOR STRUCTURAL COMPONENTS INCLUDING WOOD FRAMES AND COLUMNS MUST SUPPORT A STOREFRONT ROOF AREA GREATER THAN 600 SQUARE FEET SHALL BE DESIGNED ON THE BASIS OF A REDUCE LIVE LOAD OF 12 PSF.
3. BUILDING SHALL BE CERTIFIED BY BUILDING MANUFACTURER FOR 120 MPH WIND LOAD.
4. WALL COVERING SHALL BE 28 GAUGE STEEL PANELS PREPARED BY EXTERIOR WITH MANUFACTURERS STANDARD COLOR AS SELECTED BY OWNER AND ON INSIDE WITH ALKO TYPE LIGHT GREY. SEE PLAN FOR LOCATION.
5. ALL ROOF PANEL FASTENERS SHALL BE "EXTENDED LIFE", WITH A 20 YEAR/40,000 HOURS DESIGN LIFE OVER THE CORROSION RESISTANT AND STANDARD SEALING WASHERS.
6. ALL WALL PANEL FASTENERS SHALL BE SELF DRILLING, SELF TAPPING BOLTS WITH HEADS TO MATCH WALL COLOR.
7. BUILDING TRIM SHALL BE IN ACCORDANCE WITH BUILDING MANUFACTURERS STANDARD. COLOR OF TRIM SHALL BE SELECTED BY OWNER.
8. ALL STRUCTURAL STEEL SHALL RECEIVE A SHOP COAT OF BUILDING MANUFACTURERS STANDARD SHOP PAINTING SYSTEM.
9. DETAILS FOR BUILDING SHALL BE NON-SPRINKLER FRAMES WITH INTERIOR COLUMNS AS SHOWN ON PLAN. ALL INTERMEDIATE FRAMES SHALL BE SPACED SECTION AND FRAMES.
10. BUILDING SHALL BE INSULATED IN ROOF WITH 3 INCHES OF BUILDING MANUFACTURERS STANDARD VINYL BACKED INSULATION.
11. ALL WINDOW REEL ROOF & DOCKING SHALL BE AS PER BUILDING MANUFACTURERS CERTIFIED DRAWINGS.
12. ALL WINDOW REEL ROOF & DOCKING SHALL BE AS PER BUILDING MANUFACTURERS CERTIFIED DRAWINGS.
13. WIND BRACING IN ROOF SHALL BE PROVIDED USING CABLE TIE - GALVANIZED. SEVERAL BRACING SHALL BE PLASTIC PANELS.
14. OVERHEAD DOORS AND ROLL UP DOORS SHALL BE CERTIFIED BY MANUFACTURER TO BE DESIGNED FOR 130 MPH WIND LOAD AS SPECIFIED ABOVE. DOORS SHALL BE MANUALLY OPERATED.
15. BUILDING MANUFACTURER SHALL SUBMIT COMPLETE DRAWINGS TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO BUILDING FABRICATION.

**NORTH ELEVATION**  
SCALE: 1" = 20'

**EAST ELEVATION**  
SCALE: 1" = 20'

**WEST ELEVATION**  
SCALE: 1" = 20'

**SOUTH ELEVATION**  
SCALE: 1" = 20'

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	ADDED FRONT PORCH PER OWNER	1	TPS	7,800	
			W		
			SHF		

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MOBILE, ALABAMA

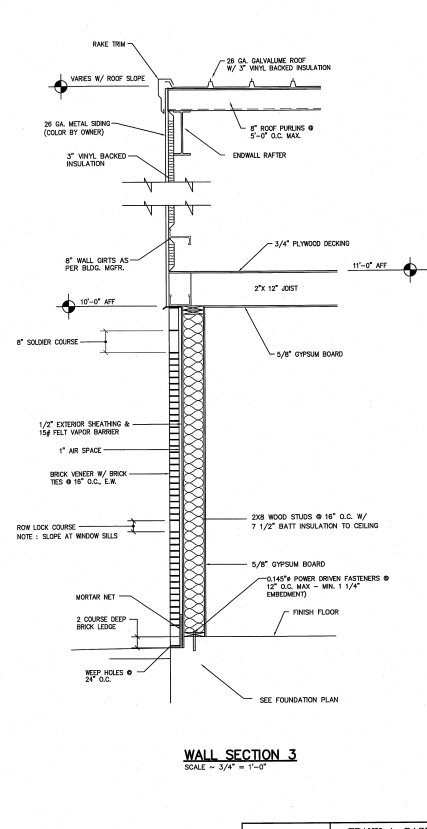
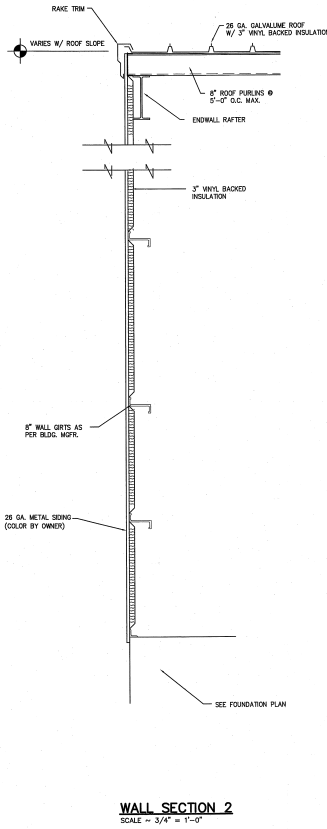
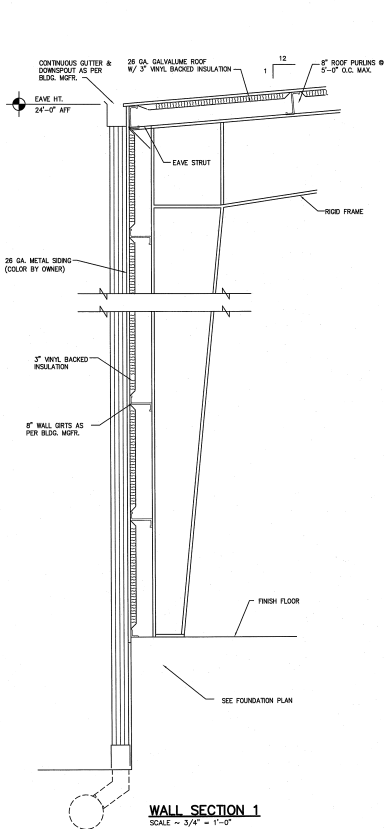
**MOORE PROPERTIES WAREHOUSE**

**EXTERIOR ELEVATIONS**

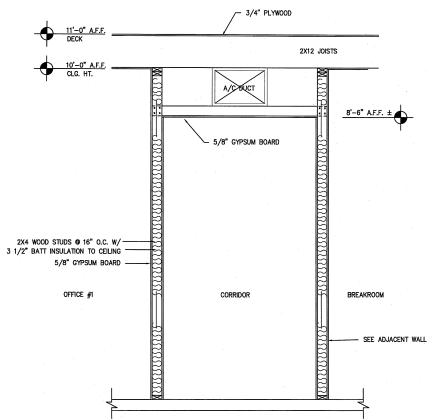
DATE: 04/25/12 / 2008

SHEET: 8 OF 20

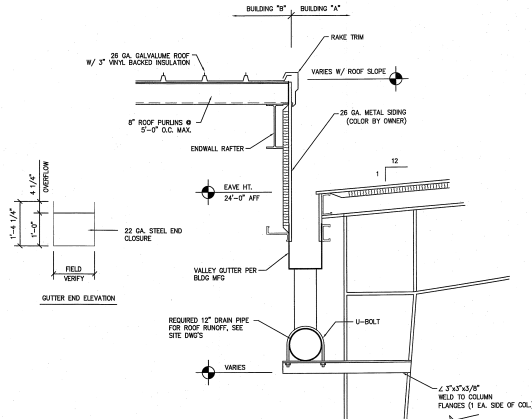
SCALE: 1/8" = 1'-0"



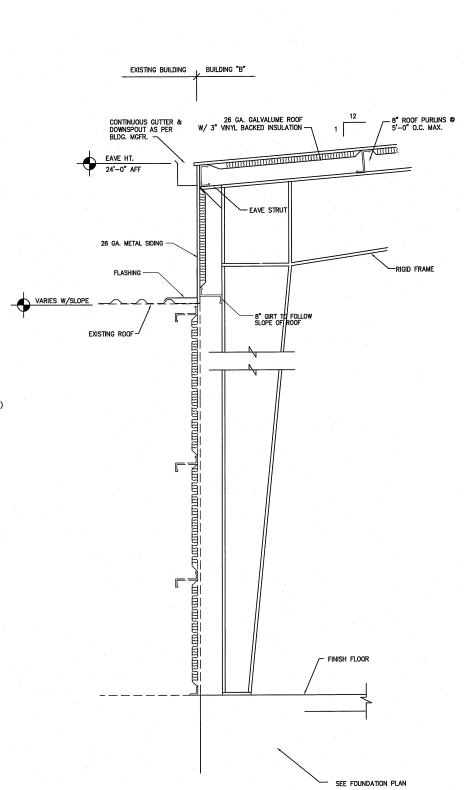
FRANK A. DAGLEY & ASSOCIATES, INC. CONSULTING ENGINEERS MOBILE, ALABAMA	
MOORE PROPERTIES WAREHOUSE	
WALL SECTIONS	
DATE SHOWN	10-MAR-05-03A
DATE 05/16/2008	28-038
NO. 9	OF 20



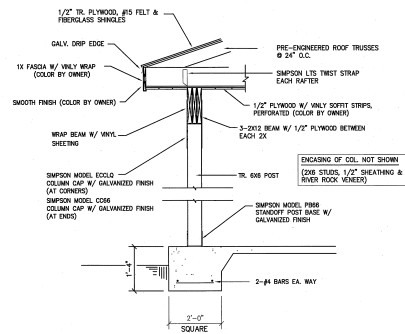
**WALL SECTION 7**  
SCALE = 3/4" = 1'-0"



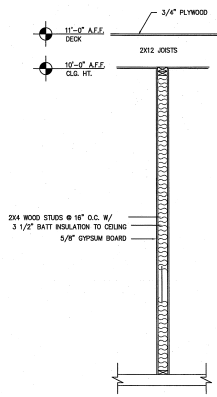
**WALL SECTION 4**  
SCALE = 3/4" = 1'-0"



**WALL SECTION 6**  
SCALE = 3/4" = 1'-0"



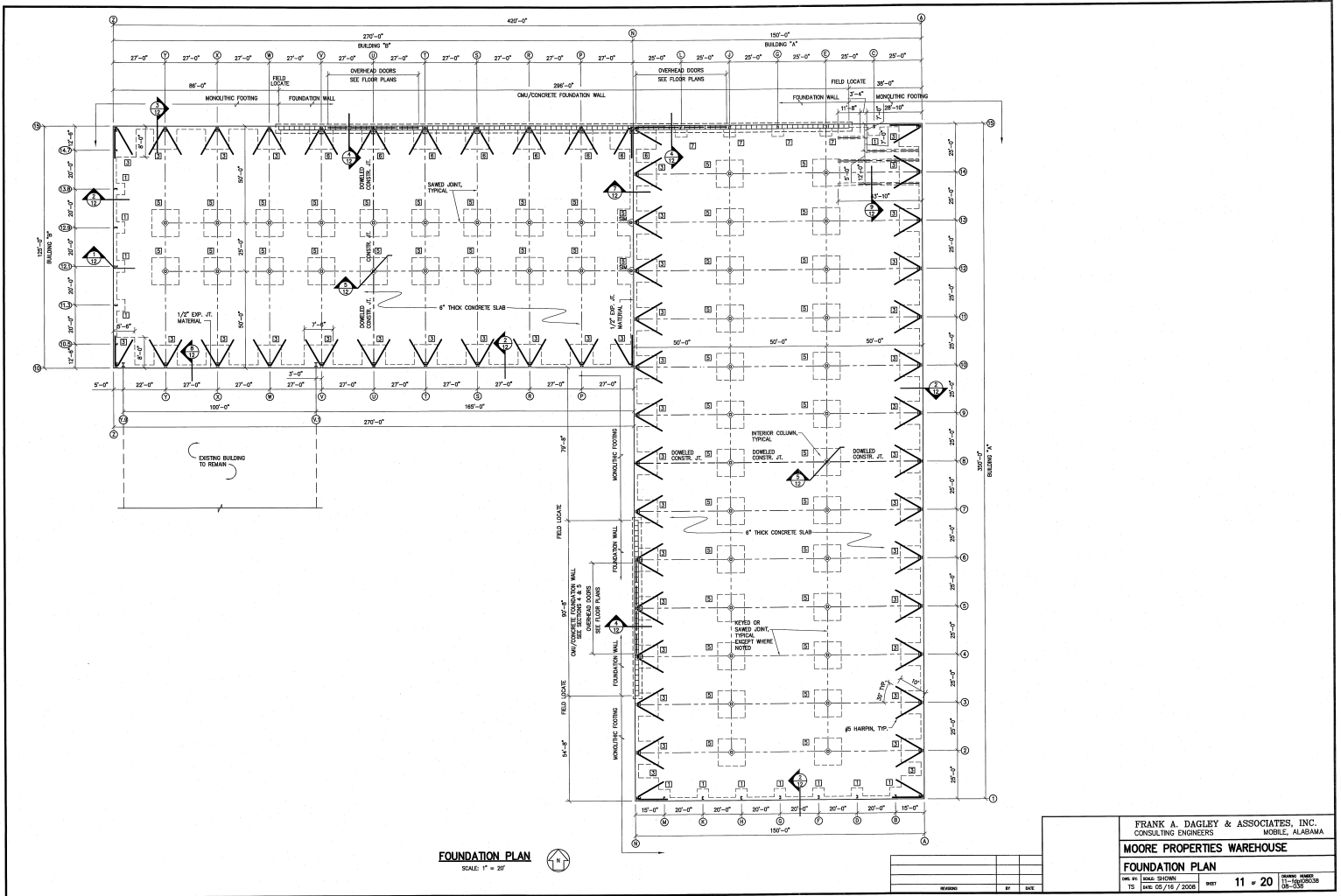
**WALL SECTION 8**  
SCALE = 3/4" = 1'-0"



**WALL SECTION 5**  
SCALE = 3/4" = 1'-0"

REV PER OWNER	TPS	9.4.08
REV PER CONTRACTOR	TPS	12.8.08
	BY	AK

FRANK A. DAGLEY & ASSOCIATES, INC. CONSULTING ENGINEERS MOBILE, ALABAMA			
<b>MOORE PROPERTIES WAREHOUSE</b>			
<b>WALL SECTIONS</b>			
DATE	SCALE	NO. OF SHEETS	TOTAL SHEETS
TS	1/8\"/>		



**FOUNDATION PLAN**  
SCALE: 1" = 20'



NO.	DATE	BY	CHK

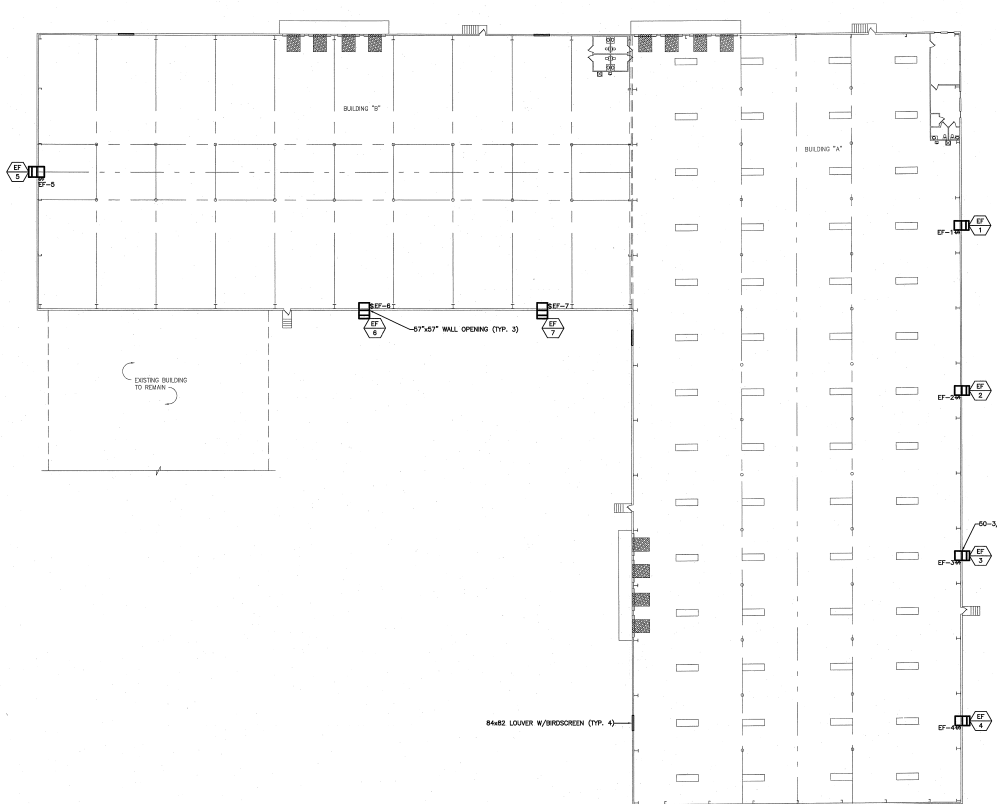
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CONSULTING ENGINEERS  
MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**

**FOUNDATION PLAN**

DATE	11-20-2008	BY	11	OF	20
DATE	11-20-2008	BY		OF	





TAG	MAKE	MODEL	CFM	TSP	HPM	HP	V/PH	WTS	NOTES
EF-1	PENN	BBH428	28,810	25	676	5	460/3	245	1,2,3
EF-2	PENN	BBH428	28,810	25	676	5	460/3	245	1,2,3
EF-3	PENN	BBH428	28,810	25	676	5	460/3	245	1,2,3
EF-4	PENN	BBH428	28,810	25	676	5	460/3	245	1,2,3
EF-5	PENN	BBH488	36,490	25	543	7.5	460/3	285	1,2,3
EF-6	PENN	BBH488	36,490	25	543	7.5	460/3	285	1,2,3
EF-7	PENN	BBH488	36,490	25	543	7.5	460/3	285	1,2,3

- 1 WITH WALL SLEEVE AND REAR GUARD
- 2 WITH WALL SHUTTER AND WEATHERSHIELD
- 3 WIRE THROUGH WALL SWITCH

**MECHANICAL NOTES**

A. GENERAL

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL CODE AND ALL LOCAL ORDINANCES IN EFFECT AT THE TIME OF INSTALLATION.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR THE COMPLETION AND TESTING OF THE EXHAUST FAN PLAN AS SHOWN ON THIS CONTRACT.
3. THE DRAWINGS ARE IN PART DIAGNOSTIC AND DO NOT ALWAYS SHOW ALL NECESSARY MATERIALS AND LABOR TO BE INSTALLED. CONTRACTOR IS TO BE RESPONSIBLE FOR VERIFYING ALL MATERIALS, CONDITIONS AND WORKING CONDITIONS BEFORE ANY INSTALLATION OF STRUCTURAL, PIPING AND WIRE TO BE DONE TO THIS PROJECT IS COMPLETED.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AND SHALL PAY ALL ASSOCIATED FEES FOR SCOPE OF WORK.
5. VERIFY THE SPECIFICATIONS ON DRAWING ARE CORRECT OR IN CONTACT WITH OWNER BEFORE COMMENCING WORK. CONTRACTOR SHALL VERIFY THIS TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION BEFORE SUBMITTING A BID.

**LEGEND**

EF EXHAUST FAN  
(TYP) TYPICAL

**EXHAUST FAN PLAN**  
SCALE: 1" = 20'

NO.	DATE	BY	CHKD

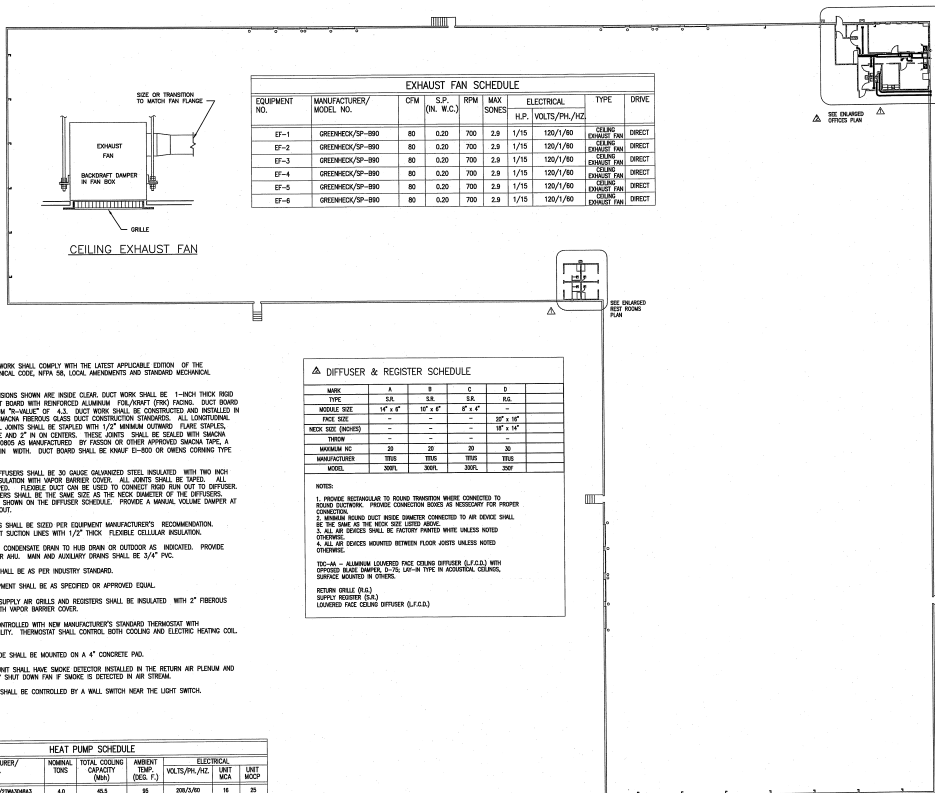
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**MOORE PROPERTIES WAREHOUSE**

**EXHAUST FAN PLAN**

DATE: 08/15/2013 13 of 20  
JOB: 08-038





EQUIPMENT NO.	MANUFACTURER/ MODEL NO.	CFM	S.P. (IN. W.C.)	RPM	MAX. SOUNDS	ELECTRICAL H.P. VOLTS/PH/Hz	TYPE	DRIVE
EF-1	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT
EF-2	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT
EF-3	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT
EF-4	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT
EF-5	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT
EF-6	GREENHECK/SP-890	80	0.20	700	2.9	1/15 120/1/60	CEILING EXHAUST FAN	DIRECT

TYPE	A	B	C	D
TYPE	24	18	18	18
MIDDLE SIZE	16" x 4"	16" x 4"	16" x 4"	16" x 4"
FACE SIZE	-	-	-	16" x 16"
DECK SIZE (INCHES)	-	-	-	16" x 16"
THROW	-	-	-	-
MANUFACTURER	TRU	TRU	TRU	TRU
MODEL	3001	3001	3001	200

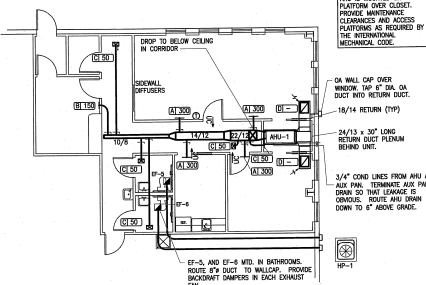
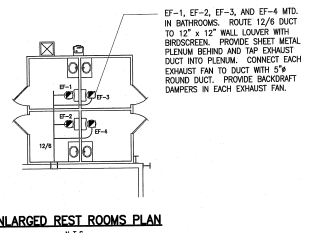
NOTES:  
 1. PROVIDE RECTANGULAR TO ROUND TRANSITION WHERE CONNECTED TO ROUND DUCTWORK. PROVIDE CONNECTION BOXES AS NECESSARY FOR PROPER CONNECTION.  
 2. MINIMUM ROUND DUCT INSIDE DIAMETER CONNECTED TO AIR BOXES SHALL BE THE SAME AS THE ROUND BOX LISTED ABOVE.  
 3. ALL AIR BOXES SHALL BE FACTORY FINISH UNLESS NOTED OTHERWISE.  
 4. ALL AIR BOXES MOUNTED BETWEEN FLOOR JOISTS UNLESS NOTED OTHERWISE.  
 5. RETURN GRILLE (R.G.)  
 6. SUPPLY REGISTER (S.R.)  
 7. LOWVOLTAGE FINE COARSE DIFFUSER (L.F.C.D.)

- HVAC NOTES**
- ALL MECHANICAL WORK SHALL COMPLY WITH THE LATEST APPLICABLE EDITION OF THE INTERNATIONAL MECHANICAL CODE, NFPA 98, LOCAL AMENDMENTS AND STANDARD MECHANICAL PRACTICE.
  - ALL DUCT DIMENSIONS SHOWN ARE INSIDE CLEAR. DUCT WORK SHALL BE 1-INCH THICK RIGID FIBERGLASS GLASS FIBER DUCT BOARD WITH REINFORCED ALUMINUM FOLY/FOAM (FRM) FINISH. DUCT BOARD SHALL HAVE A MINIMUM WALL THICKNESS OF 0.5 INCH. DUCT WORK SHALL BE CONTROLLED AND INSTALLED IN ACCORDANCE WITH SHOWN PRESSURE CLASS DUCT CONSTRUCTION STANDARDS. ALL DIMENSIONAL AND CONFORMATIONAL JOINTS SHALL BE STAPLED WITH 1/2" MINIMUM OUTWARD FLANGE STAPLES, 1/2" FROM FOLY EDGE AND 2" IN ON OUTSIDE. THESE JOINTS SHALL BE SEALED WITH SHOWN APPROVED FAS TAPES OR AS MANUFACTURED BY FASION OR OTHER APPROVED SMAZMA TAPE. A MINIMUM OF 2-1/2" IN WIDTH. DUCT BOARD SHALL BE KNOWP E-800 OR OTHER CORNING TYPE RIGID.
  - RUN OUTS TO DIFFUSERS SHALL BE 30 GAUGE GALVANIZED STEEL INSULATED WITH TWO INCH THICK FIBERGLASS INSULATION WITH WOOD BURNED COVER. HULL JOISTS SHALL BE SHIELD. ALL JOISTS SHALL BE TYPED. FLEXIBLE DUCT CAN BE USED TO CONNECT RIGID RUN OUT TO DIFFUSER. RUN OUTS TO DIFFUSERS SHALL BE THE SAME SIZE AS THE NOOD DIAMETER OF THE DIFFUSERS. NOOD DAMPERS ARE SHOWN ON THE DIFFUSER SCHEDULE. PROVIDE A MANUAL VOLUME DAMPER AT TOP OF EACH RUN OUT.
  - REFRIGERANT LINES SHALL BE SIZED PER EQUIPMENT MANUFACTURER'S RECOMMENDATION. INSULATE REFRIGERANT SUCTION LINES WITH 1/2" THICK FLEXIBLE CELLULAR INSULATION.
  - TRAP AND SLOPE CONDENSATE DRAIN TO HUB DRAIN OR OUTDOOR AS INDICATED. PROVIDE AUXILIARY FAN UNDER HULL MAIN AND AUXILIARY DRAIN SHALL BE 3/4" DIA.
  - ALL WARRANTIES SHALL BE AS PER INDUSTRY STANDARD.
  - MECHANICAL EQUIPMENT SHALL BE AS SPECIFIED OR APPROVED EQUAL.
  - COLLARS OF ALL SUPPLY AIR GRILLES AND REGISTERS SHALL BE INSULATED WITH 2" FIBERGLASS GLASS INSULATION WITH WOOD BURNED COVER.
  - RAU SHALL BE CONTROLLED WITH NEW MANUFACTURER'S STANDARD THERMOSTAT WITH PROGRAMMING CAPABILITY. THERMOSTAT SHALL CONTROL BOTH COOLING AND ELECTRIC HEATING COIL.
  - ALL UNITS OUTSIDE SHALL BE MOUNTED ON A 4" CONCRETE PAD.
  - AIR HANDLING UNIT SHALL HAVE SMOKE DETECTOR INSTALLED IN THE RETURN AIR PLENUM AND SHALL AUTOMATICALLY SHUT DOWN FAN IF SMOKE IS DETECTED IN AIR STREAM.
  - EXHAUST FANS SHALL BE CONTROLLED BY A WALL SWITCH NEAR THE LIGHT SWITCH.

EQUIPMENT NO.	MANUFACTURER/ MODEL NO.	NORMAL TONS	TOTAL COOLING CAPACITY (MIN)	AMBIENT TEMP. (DEC. F.)	ELECTRICAL VOLTS/PH/Hz	UNIT MSCP
HP-1	TRANE/RT20X30A3	4.0	45.5	55	208/1/60	11

EQUIPMENT NO.	MANUFACTURER/ MODEL NO.	AIR FLOW (CFM)	FAN DATA		COOLING DATA				HEATING DATA		ELECTRIC HEAT						
			SUPPLY	O.A.	TOTAL COOLING CAPACITY (MIN)	SENSIBLE COOLING CAPACITY (MIN)	E.A.T. (DEC. F.)	NET TON CAPACITY (MIN)	AMBIENT TEMP. (DEC. F.)	TOTAL HEATING CAPACITY (MIN)	INDOOR TEMP. (DEC. F.)	AMBIENT TEMP. (DEC. F.)	KW	NO. VOLTS/PH/Hz STAGES			
AHU-1	TRANE/RT20X30A3	1600	220	0.5	1/2	208/1/60	45.5	33.7	80	67	55	43.5	70	47	11.0	1	208/1/60

**HVAC PLAN**  
SCALE: 1" = 20'



AREA	VENTILATION REQUIREMENT PER PERSON (CFM)	RESIDUAL INSULATION REQUIREMENT (R-VALUE) OR U-VALUE
OFFICE	5	15
RECEPTION	5	15
STORAGE	5	15
TRUCKS	5	15

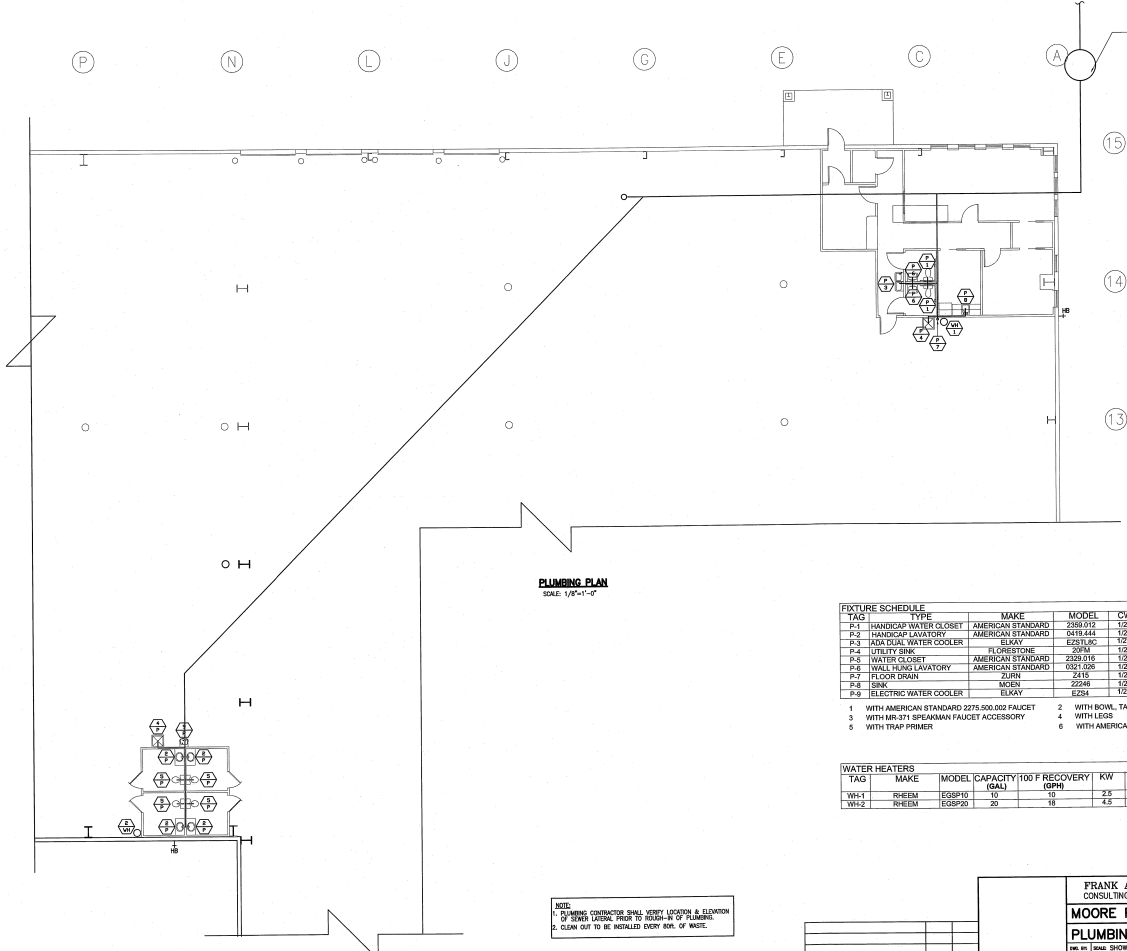
LEGEND:  
 200BS - 200BS  
 O.S. - OUTSIDE AIR  
 F.C. - FLEXIBLE CELLULAR INSULATION  
 A.C. - AIR CURTAIN  
 O.A. - OUTSIDE AIR  
 R.A. - RETURN AIR  
 R.S. - RETURN AIR SILENCE  
 V.D. - VOLUME DAMPER  
 T - THERMOSTAT  
 DRAIN - DRAIN TO OUTSIDE

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CONSULTING ENGINEERS  
MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**

**HVAC PLAN**  
 DRAWN BY: LANCE BROWN  
 CHECKED BY: WILSON C. MARTINEZ  
 DATE: 8/16/2008  
 SHEET: 14 OF 20  
 PROJECT: MOORE PROPERTIES WAREHOUSE

CONTRACTOR SHALL MEASURE FLOOR FINISH  
PRESSURE AND REPORT PRESSURE TO  
DESIGN ENGINEER FOR GRINDER PUMP SIZING.



**PLUMBING PLAN**  
SCALE: 1/8"=1'-0"

FIXTURE	TYPE	MAKE	MODEL	CW	HW	W	NOTES
P-1	HANDICAP WATER CLOSET	AMERICAN STANDARD	2889.012	1/2"		3"	2
P-2	HANDICAP LAVATORY	AMERICAN STANDARD	2418.244	1/2"	1/2"	1-1/4"	1
P-3	ADA DUAL WATER COOLER	ELKAY	E2611BC	1/2"		1-1/2"	
P-4	UTILITY SINK	FLORESTONE	2294	1/2"	1/2"	1-5/8"	3,4
P-5	WATER CLOSET	AMERICAN STANDARD	2329.016	1/2"		3"	2
P-6	WALL MOUNTED LAVATORY	AMERICAN STANDARD	1021.106	1/2"	1/2"	1-3/4"	1
P-7	FLOOR DRAIN	ZURN	2415	1/2"		2"	5
P-8	SINK	MOEN	22546	1/2"	1/2"	1-1/2"	3
P-9	ELECTRIC WATER COOLER	ELKAY	E284	1/2"		1-1/4"	

- 1 WITH AMERICAN STANDARD 2275.500.002 FAUCET
- 2 WITH BOWL TANK AND SEAT
- 3 WITH MARS-371 SPEARMAN FAUCET ACCESSORY
- 4 WITH LEGS
- 5 WITH TRAP-PRIMER
- 6 WITH AMERICAN STANDARD 2475.500.002 FAUCET

WATER HEATERS	TRAD	MAKE	MODEL	CAPACITY (GAL)	100 F RECOVERY (GPH)	KW	VIPH	NOTES
WH-1	RHEEM	EGSP10	10	10	2.5	2081		
WH-2	RHEEM	EGSP20	20	18	4.5	2081		

- LEGEND**
- VIR VENT TO ROOF
  - CO CLEAN OUT
  - CONNECT TO EXISTING
  - CP AND SEAL
  - HOSE BB

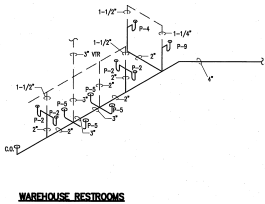
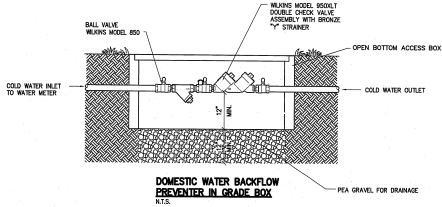
**NOTE:**  
1. PLUMBING CONTRACTOR SHALL VERIFY LOCATION & ELEVATION OF EXISTING FIXTURES PRIOR TO BEGINNING OF WORK.  
2. CLEAN OUT TO BE INSTALLED EVERY 500' OF WASTE.

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MOBILE, ALABAMA

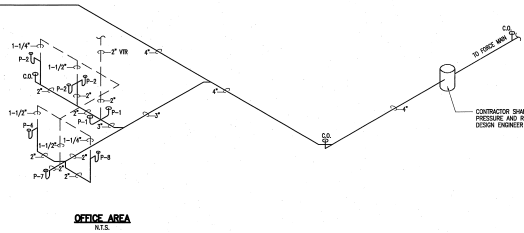
**MOORE PROPERTIES WAREHOUSE**

**PLUMBING PLAN**

DATE BY: 04/15/2010 SHOWN: 15 OF 20  
TAXI: 10/05/2010 / 2008



WAREHOUSE RESTROOMS  
N.T.S.



OFFICE AREA  
N.T.S.

PLUMBING RISER  
N.T.S.

**PLUMBING SPECIFICATIONS**

1. CODES, FEES, PERMITS, ETC.
 

THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING ALL PERMITS AND FEES AS REQUIRED FOR THE COMPLETE PLUMBING INSTALLATION, INCLUDING SANITARY SEWER AND POTABLE WATER TIE-INS TO THE SERVING UTILITY. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE STANDARD PLUMBING CODE AS ADOPTED BY STATE AND COUNTY AUTHORITIES.
2. SCOPE OF WORK
 

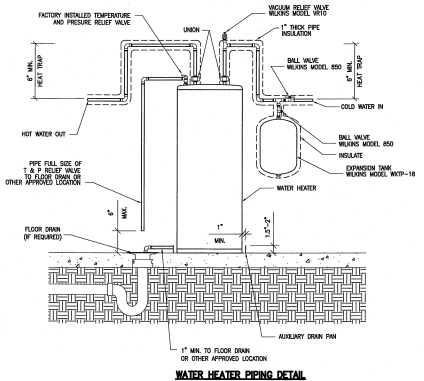
THE WORK CONSISTS OF MATERIALS AND LABOR FOR A COMPLETE, OPERABLE PLUMBING SYSTEM INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

  - A. SANITARY SEWER SYSTEM OUTSIDE UTILITIES, SOIL AND WASTE DRAIN AND VENT PIPING AND FUTURE CONNECTIONS.
  - B. DOMESTIC COLD AND HOT WATER SYSTEM TO ALL SINKS & LAVATORIES, VERIFY W/ OWNER. PIPING SHALL BE DEMONSTRATED I.A.M. THE PLUMBING CODE, AND SO SHALL HAVE A MINIMUM 1" WOOD SUPPLY.
  - C. ALL PLUMBING FITTINGS AND EQUIPMENT INCLUDING FLOOR DRAINS, HOSE BIBBS, WATER HEATERS, ETC. AS REQUIRED, VERIFY LOCATIONS WITH OWNER.
  - D. PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS AND HUB DRAINS.
  - E. WATER AND DRAIN PIPING SHALL BE PRESSURE TESTED I.A.M. THE PLUMBING CODE.
3. MATERIALS
 

A. FITTINGS AND EQUIPMENT
 

ALL FITTINGS AND EQUIPMENT SHALL BE STANDARD, FIRST QUALITY COMPLETE WITH ALL TRAP TRAPS, ETC., AS REQUIRED OR AS SPECIFIED BY OWNER. TOILETS, URINALS, AND LAVATORIES SHALL BE INSTALLED I.A.M. THE ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

B. PIPING
 
  1. SANITARY SEWER, WASTE AND VENT PIPING SHALL BE APPROVED PVC WITH PVC-DW FITTINGS AND SOLVENT CEMENT JOINTS.
  2. DOMESTIC WATER
    - A. OUTSIDE - SCH. 40 PVC.
    - B. INSIDE - ABOVE SLAB TYPE L HAND DRAIN COPPER WITH SOLDERED SOLDERED JOINTS, BELOW SLAB TYPE K WITH NO JOINTS BELOW SLAB.
    - C. INSULATE ALL PIPING ABOVE SLAB (INCLUDING TRAP PRIMERS) WITH 1/2" THICK FIBERGLASS WITH VAPOR SEAL.



WATER HEATER PIPING DETAIL  
N.T.S.

**LEGEND**

- VTR VENT TO ROOF
- CO CLEAN OUT
- ⊕ CONNECT TO EXISTING
- ⊔ CAP AND SEAL

NO.	REVISION	DATE

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MOBILE, ALABAMA

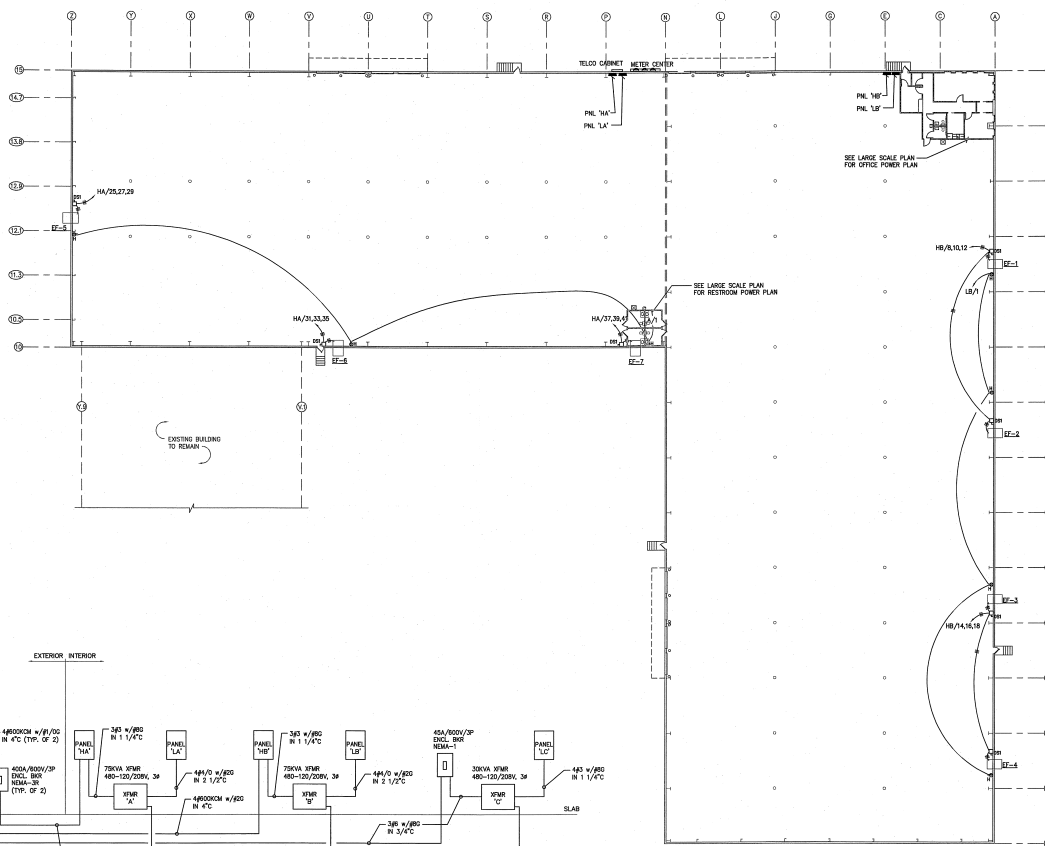
**MOORE PROPERTIES WAREHOUSE**

**PLUMBING PLAN**

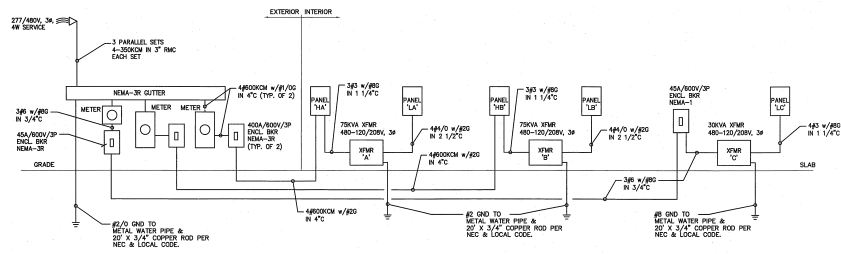
NO. 11 11000 11000  
DATE: 05/12/2020 SHEET: 16 OF 20  
SCALE: AS SHOWN



COORDINATE LOCATION OF METER & SERVICE RIG.  
 ✓OWNER & UTILITY CO. PRIOR TO CONSTRUCTION.



DISCONNECT SCHEDULE		
SWING	SLING	NEMA
001	20A/250V/2P	FUSED 1
002	10A/250V/2P	FUSED 1
003	20A/250V/2P	FUSED 3P
004	10A/250V/2P	FUSED 3P
005	20A/250V/2P	N/A 3P



**POWER PLAN**  
 SCALE 1" = 20'

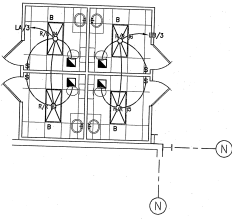
FRANK A. DAGLEY & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**

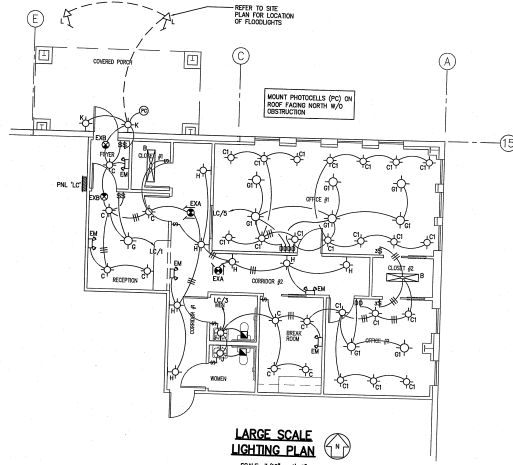
**POWER PLAN**

DATE SHOWN: 18 \* 20  
 DATE: 02/18/2003

NO.	BY	CHK



**LARGE SCALE LIGHTING PLAN**  
SCALE: 3/8" = 1'-0"

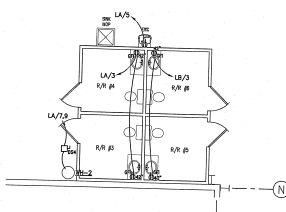


**LARGE SCALE LIGHTING PLAN**  
SCALE: 3/8" = 1'-0"

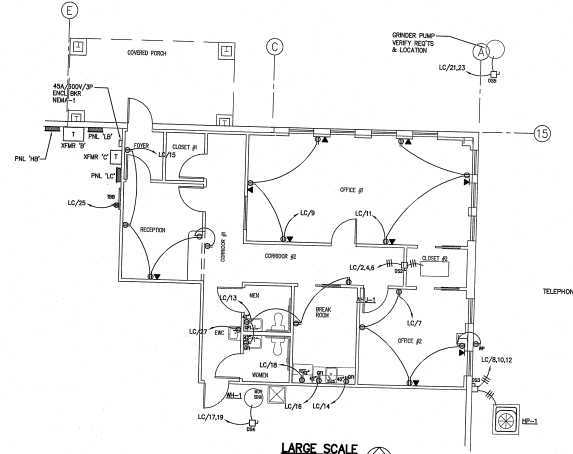
**PANEL "LC" CIRCUIT SCHEDULE** 120/208 VOLTS 3 PHASE 4 WIRE SQUARE "D" NOOD OR EQUAL

LOAD DESCRIPTION	SIZE	TYPE	LOCATION	NO. OF LOADS	WIRE SIZE	CONDUIT SIZE	TERMINALS	LOAD DESCRIPTION
LIGHTS RECEPTION, COMMON COR	1/2"	#12	20/1	2				
LIGHTS OFFICE #1 BREAK IN. R/S	1/2"	#12	20/1	1	14/3	#1	3/4"	AMP-1
LIGHTS OFFICE #1	1/2"	#12	20/1	5				
RECEPTIONS OFFICE #1	1/2"	#12	20/1	1				
RECEPTIONS OFFICE #1	1/2"	#12	20/1	1				
RECEPTIONS OFFICE #1	1/2"	#12	20/1	1				
RECEPTIONS COMMON COR	1/2"	#12	20/1	1				
RECEPTIONS RECEPTION CORRIDOR	1/2"	#12	20/1	1				
WATER HEATER	1/2"	#12	20/2	1				
GRINDER PUMP	1/2"	#12	20/2	1				
RECEPTIONS TOB	1/2"	#12	20/2	1				
RECEPTIONS EMC	1/2"	#12	20/2	1				
<b>TOTAL LOAD</b> 118.95								<b>118.95</b>

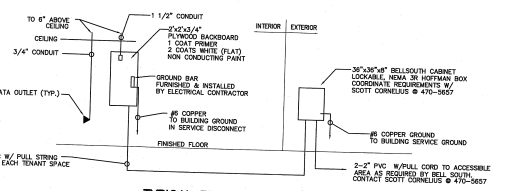
REMARKS: PROVIDE W/1 COPPER BUS & GROUND BAR, MINIMUM ALC W/ALUM - 25000 AMP/FTL. NOTE: ALL CONDUITS SHALL BE COPPER.



**LARGE SCALE POWER PLAN**  
SCALE: 3/8" = 1'-0"



**LARGE SCALE POWER PLAN**  
SCALE: 3/8" = 1'-0"



**TYPICAL TELEPHONE RISER**  
NO SCALE

REVISED	BY	DATE

**FRANK A. DAGLEY & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
MOBILE, ALABAMA

**MOORE PROPERTIES WAREHOUSE**

**LARGE SCALE ELECTRICAL PLANS**

FILE NO. 2005-0001  
DATE: 05/16/2005  
SHEET: 19 OF 20  
SCALE: AS SHOWN

